

The Redevelopment of 1165R Massachusetts Avenue, Arlington

Zoning Board of Appeals Meeting 5

May 18, 2021

EXISTING SITE CONDITIONS



1165R REDEVELOPMENT - MAIN POINTS CH. 40B APPLICATION & PROPOSED

CH. 40B SUBMISSION

- Complies with the goals and standards of the Arlington Master Plan.
- Increases affordable housing in Arlington.
- Improves public access/provides walking and cycling amenity along to Mill Brook.
- Increases pervious space on site by 275%.
- Number of Apartments = 130 total with 25% affordable.
- Number of Parking Spaces = 135.
- Number Bicycle Spaces = 44 per Arlington Design Standard.

PROPOSED

- Complies with the goals and standards of the Arlington Master Plan.
- Increases affordable housing in Arlington.
- Improves public access/provides walking and cycling amenity along to Mill Brook.
- Increases pervious space on site by 284%.
- Number of Apartments = 124 total with 25% affordable.
- Number Parking Spaces = 127.
- Number Bicycle Spaces = 44 per Arlington Design Standard.

SITE PLAN SUBMITTED WITH CH. 40B APPLICATION – 130 UNIT PLAN



- Increases Pervious Area by 275% over existing.

- Planting beds at back side of curb with hard edge (sidewalk) against Mill Brook.

- Bicycle Parking at grade = 12 spaces.

PROPOSED SITE PLAN – 124 UNIT PLAN



- Increased Pervious Area by 284% over existing.

- Relocated and Expanded Drainage Swale.

- Incorporated Conservation Commission suggestions for more planting adjacent to Mill Brook.

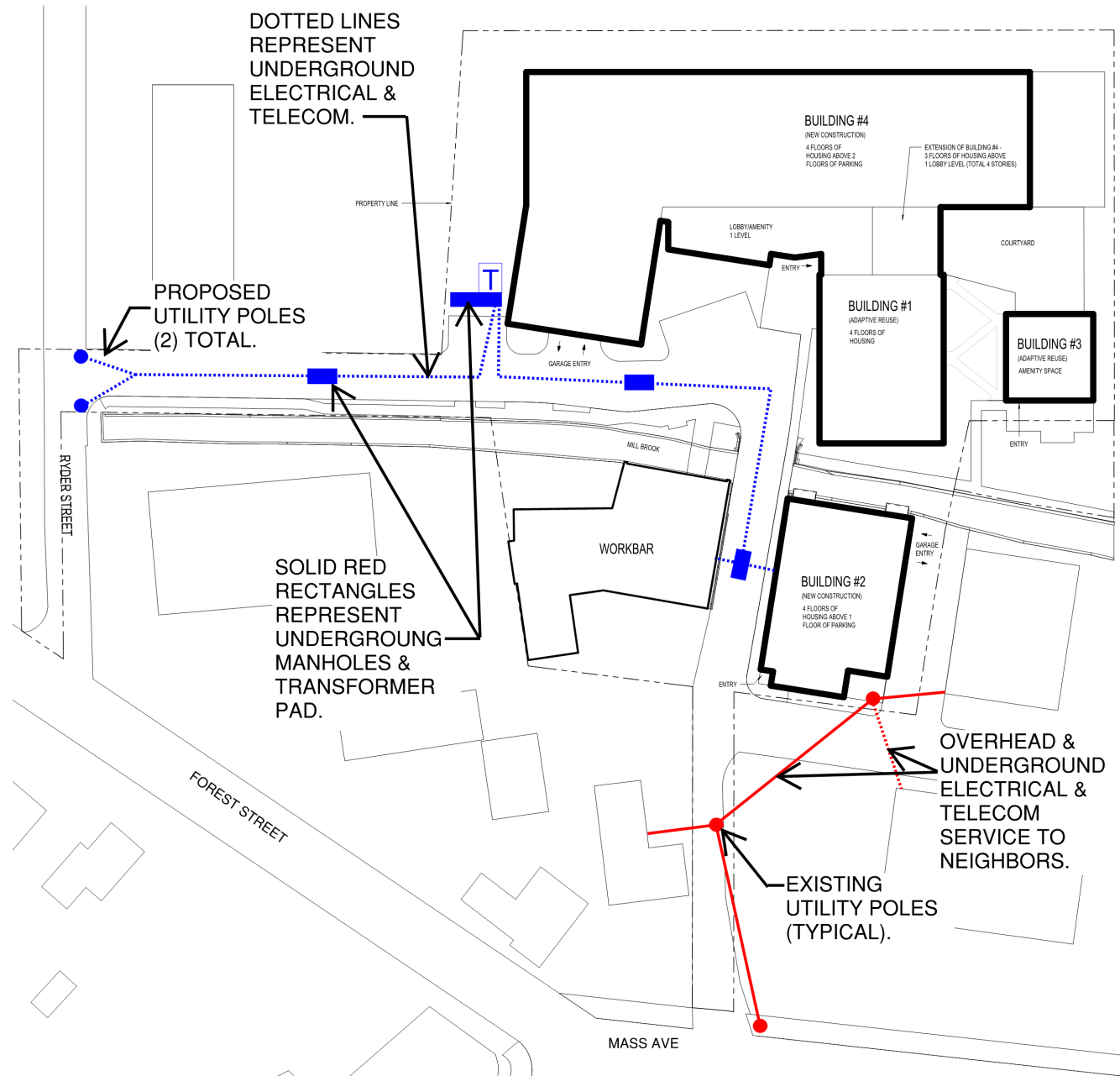
- Outdoor bicycle parking increased from 12 to 13.

- Smaller Building 4 footprint.

- Modified Building 2 footprint to accommodate electric utility pole at corner. Increases pervious area.

- Removed corridor to Building 3 improves outdoor amenity space.

SITE ELECTRICAL & TELECOM LAYOUT – PER DISCUSSIONS with EVERSOURCE & VERIZON



- Two (2) new electric poles will be set at the Ryder St. connector driveway entrance (blue circles). Final location will be determined by Eversource.

- New electrical and telecom service (in blue) will come down the Ryder Street connector driveway (underground) to new manhole structures and a pad-mounted transformer at Building 4 (blue "T").

- Existing poles, underground, and overhead services (in red) must remain in their current configuration. Building 2 needs to be "notched" at the southeast corner to accommodate the pole.

BUILDING 4 – 1ST FLOOR SUBMITTED WITH CH. 40B APPLICATION



- Larger building footprint.

- Parking Spaces in Building 4 = 110 (both levels).

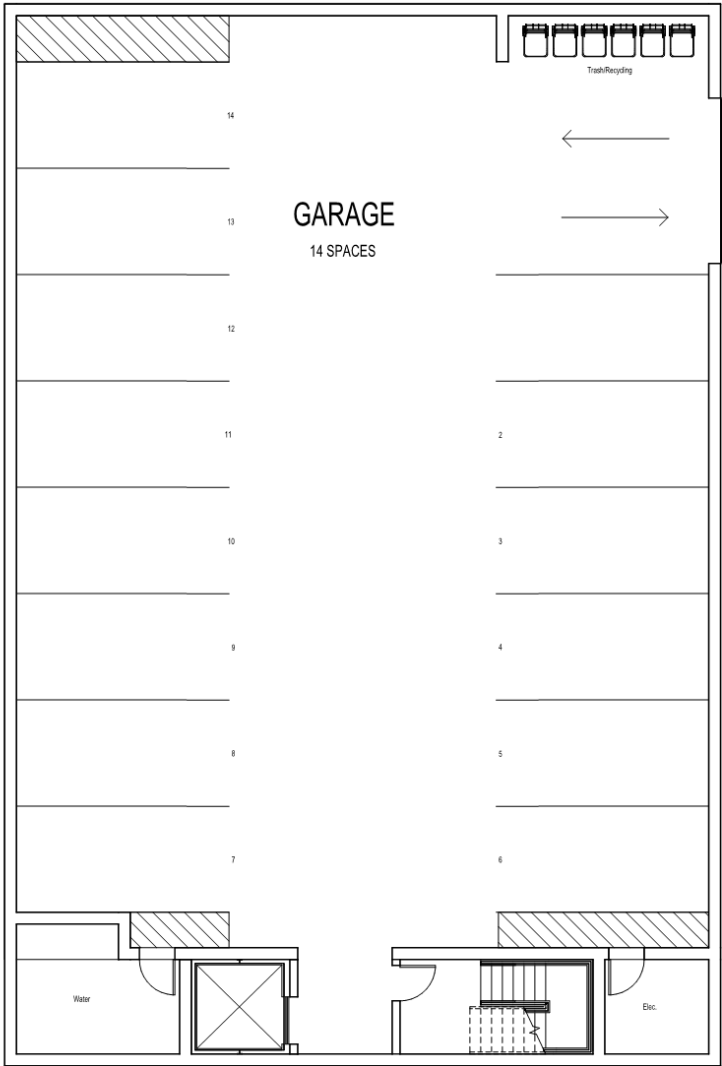
- Bicycle Parking = 44 spaces per Arlington design standard.

BUILDING 4 – 1ST FLOOR PLAN PROPOSED

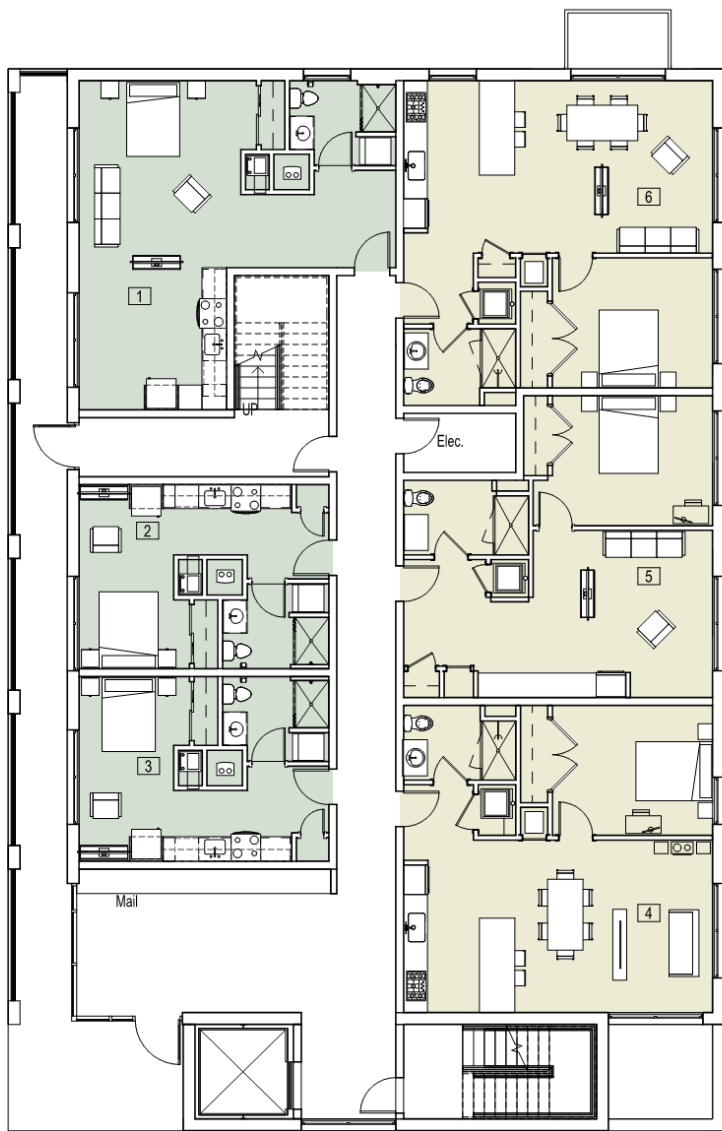
- Smaller building footprint.
- Parking in Building 4 = 96 (both levels).
- Bicycle Parking = 44 spaces per Arlington design standard.
- All amenities at ground level.
- Removed corridor to Building 3 improves outdoor amenity space.



BUILDING 2 – GARAGE & 1ST FLOOR SUBMITTED WITH CH. 40B APPLICATION



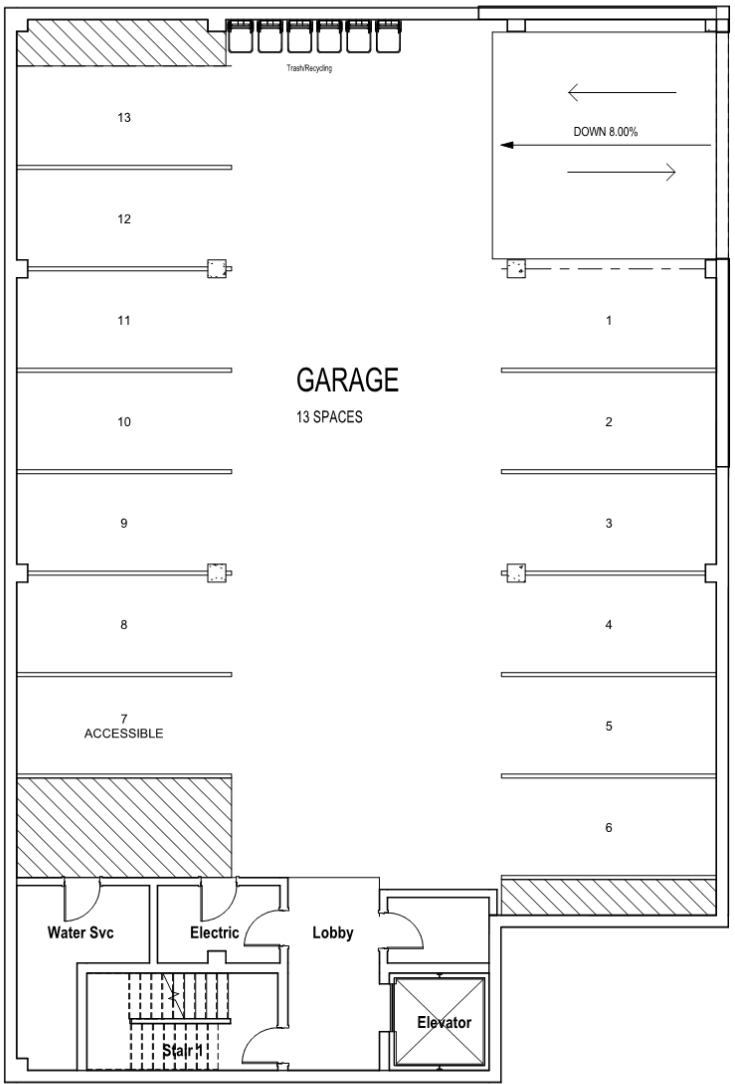
1 Building #2 Parking Plan



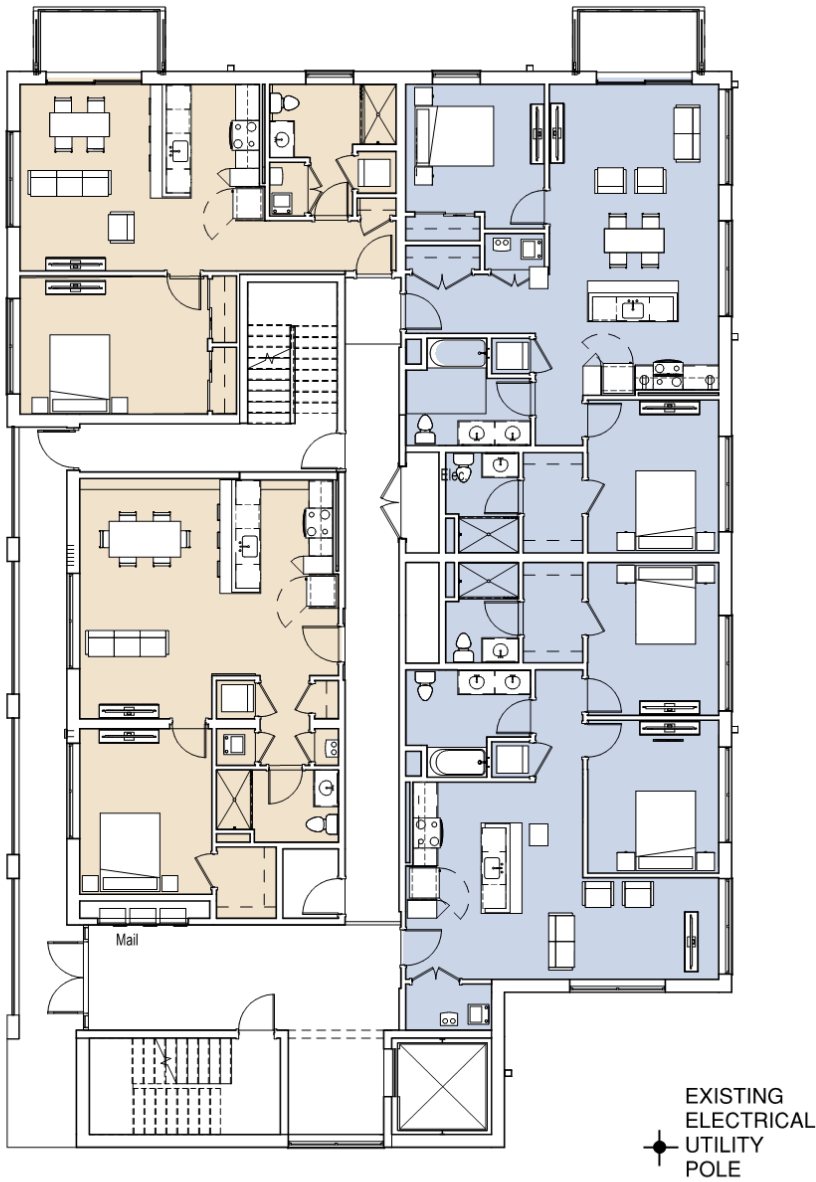
2 First Floor Plan

- Parking Spaces = 14.
- No change in garage access.
- Footprint does not accommodate electrical utility pole at corner.

BUILDING 2 – GARAGE & 1ST FLOOR PROPOSED



1 Building #2 Parking Plan



2 First Floor Plan

- Parking Spaces = 13.
- No change in garage access.
- Footprint accommodates electric utility pole at corner.

BUILDING 1 & 4 ELEVATIONS SUBMITTED WITH CH. 40B APPLICATION



1 Building #1, #4 South



2 Building #4 North



3 Building #4 West



4 Building #1 West



5 Building #1, #4 East

- Building 4 Height = 68'-0"
- Building 4 Number of Stories = 6
- Building 1 Height = 44'-0"
- Building 1 Number of Stories = 4
- Building 4 Features:
 - Fiber-Cement Siding.
 - Metal Railings at Balconies.
 - Glass Entrance Canopy.
 - 2-Story Amenity Space.
- Building 1 material is existing brick.

BUILDING 1 & 4 ELEVATIONS PROPOSED



1 Building #1, #4 South



2 Building #4 North



3 Building #4 West



4 Building #1 West



5 Building #1, #4 East

- Building 4 Height = 68'-0"
- Building 4 Number of Stories = 6
- Building 1 Height = 44'-0"
- Building 1 Number of Stories = 4
- Building 4 Features:
 - Fiber-Cement Siding.
 - Metal Railings at Balconies.
 - Glass Entrance Canopy.
 - Single Story Amenity Space.
- Building 1 material is existing brick.

BUILDING 2 ELEVATIONS SUBMITTED WITH CH. 40B APPLICATION



1 Building #2 South



3 Building #2 East



2 Building #2 West



4 Building #2 North

- Building 2 Height = 44'-0"
- Building 2 Number of Stories = 5
- Building 2 Features:
 - Fiber-Cement Siding.
 - Metal Railings at Balconies.
 - Glass Storefront Entrance.

BUILDING 2 ELEVATIONS PROPOSED



- Building 2 Height = 44'-0"
- Building 2 Number of Stories = 5
- Building 2 Features:
 - Fiber-Cement Siding.
 - Metal Railings at Balconies.
 - Glass Storefront Entrance.
- Increased red fiber-cement at 1st floor to address ZBA suggestion to reduce amount of grey fiber-cement at base of building.

BUILDING 2 IMAGE SUBMITTED WITH CH. 40B SUBMISSION



•Comments from ZBA:

1. Consider a different cladding at the base of the building/columns to reduce the amount of grey fiber-cement.
2. Building appears commercial vs. residential.

BUILDING 2 IMAGE - PROPOSED



•Responses to Comments from ZBA:

1. Consider a different cladding at the base of the building/columns to reduce the amount of grey fiber-cement.

Response: Red siding was brought down to grade level on the north side of the building along with the punched windows to lessen the grey fiber-cement and provide more residential scale.

2. Building appears commercial vs. residential.

Response: Increase in red siding, lighter colored columns, and changes to the corner window element were made to provide more residential scale and feel.

COURTYARD & APARTMENT ENTRY SUBMITTED WITH CH. 40B APPLICATION



- 2-Story Amenity Space at Building 4 (beige area at left side of image).

- Less visibility of main entrance at Building 4 (center of image)

COURTYARD & APARTMENT ENTRY – PROPOSED



- 1-Story Amenity Space at Building 4 (beige area at left side of image).

- Increased visibility of main entrance at Building 4 (lower center of image).

COURTYARD & BUILDING 3 CORRIDOR SUBMITTED WITH CH. 40B APPLICATION



- Outdoor amenity space is narrow and constricted by corridor to Building 3 (left side of image).

COURTYARD & BUILDING 3 PROPOSED



- Removing the corridor link to Building 3 opens the courtyard and increases the visual impact of Building 3.

QUESTIONS & COMMENTS